

MASTER DEVELOPMENT PLAN

RT. 50 BREEZEWAY

FAIRFAX CITY, VIRGINIA

GENERAL NOTES

1.

THE SUBJECT PROPERTY SHOWN HEREON IS COMPRISED OF 6 PARCELS OF APPROXIMATELY ±4.633 ACRES AND RECORDED IN THE LAND RECORDS OF FAIRFAX CITY VIRGINIA AS FOLLOWS (SITE ACREAGE IS PROVIDED AS PER THE ZONING PLAT):
2.

PARCEL ID	OWNER	DESCRIPTION	ADDRESS	ACREAGE	EXISTING ZONING
57-1-14-055A	ROBERT PIERCE	FAIRFAX GARDENS APTS	10807-10818 CEDAR AVE	2.082 AC	RMF MULTIFAMILY
57-1-14-043	ROBERT PIERCE	BREEZEWAY MOTEL	10829 FAIRFAX BLVD	1.148 AC	CR COMMERCIAL RETAIL
57-1-14-083	ROBERT PIERCE	SINGLE FAMILY	3937 WALNUT STREET	0.557 AC	RH RESIDENTIAL HIGH
57-1-14-77A	ROBERT PIERCE	SINGLE FAMILY	3930 OAK STREET	0.251 AC	RH RESIDENTIAL HIGH
57-1-14-76A	ROBERT PIERCE	SINGLE FAMILY	3932 OAK STREET	0.253 AC	RH RESIDENTIAL HIGH
57-1-14-075A	ROBERT PIERCE	SINGLE FAMILY	3934 OAK STREET	0.342 AC	RH RESIDENTIAL HIGH

PARCEL AREA SUB-TOTAL = 4.633 AC

AREA OF CEDAR AVENUE AND WALNUT STREET RIGHT-OF-WAY TO BE VACATED = 0.106 ACRES

TOTAL AREA = 4.739 ACRES
3.

THIS MASTER DEVELOPMENT PLAN ACCOMPANIES AN APPLICATION TO REZONE THE SUBJECT PROPERTY FROM RMF, CR AND RH TO PD-R (PLANNED DEVELOPMENT RESIDENTIAL USE) TO ALLOW THE DEVELOPMENT OF A RESIDENTIAL USE COMMUNITY CONSISTING OF 31 TOWNHOUSES, 34 STACKED CONDOMINIUM (MULTIFAMILY) UNITS, AND A FIVE STORY BUILDING WITH 32 AGE-RESTRICTED CONDOMINIUM (MULTIFAMILY) UNITS. REFER TO THE SUBMITTED STATEMENT OF JUSTIFICATION FOR A NARRATIVE DESCRIPTION OF THE PROPOSAL.

THE REZONING APPLICATION IS ACCOMPANIED BY A REQUEST TO AMEND THE COMPREHENSIVE PLAN PLACE TYPE DESIGNATION FOR PARCEL 57-1-14-043 FROM COMMERCIAL CORRIDOR TO MULTIFAMILY NEIGHBORHOOD.
4.

THE BOUNDARY AND PHYSICAL IMPROVEMENTS HEREON ARE BASED UPON A FIELD SURVEY DONE BY THIS FIRM (ATCS, PLC.) BETWEEN THE DATES OF JANUARY 25TH AND FEBRUARY 2ND, 2018.
5.

COORDINATE SYSTEM INFORMATION:

A.) HORIZONTAL DATUM SHOWN HERON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM (NAD) 1983 - NORTH AS ESTABLISHED FROM A CURRENT CORS GPS SURVEY.

B.) THE VERTICAL DATUM SHOWN HEREON IS REFERENCED TO THE NATIONAL GEODETIC VERTICAL DATUM (NAVD 88) AS IS ESTABLISHED FROM A CURRENT GPS SURVEY.
6.

THE AREA SHOWN HEREON IS LOCATED ON THE FLOOD INSURANCE RATE MAPS (FIRM), COMMUNITY PANEL NO. 5155240001 D WITH AN EFFECTIVE DATE OF JUNE 2ND, 2006. BY GRAPHICAL DEPICTION ONLY, THE PROPERTY HEREON IS SHOWN IN:

FLOOD ZONE "X" (OTHER AREAS), AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN.
7.

A TITLE REPORT HAS FURNISHED AND HAS BEEN INCORPORATED AND SHOWN ON A BOUNDARY SURVEY DONE BY THIS FIRM AND ENTITLED "ALTA/NSPS LAND TITLE SURVEY OF FAIRFAX HEIGHTS SECTION 2 LOTS 43-47, 55-A, 56-A, 57-A, 58-A, 75-A, 76-A, 77-A, 78-A, 79-A, 80-A, 81-A, 83 & 84", DATED SEPTEMBER 6TH, 2017.
8.

THE SUBJECT PROPERTY IS CURRENTLY SERVED BY PUBLIC WATER AND PUBLIC SEWER PROVIDED BY FAIRFAX CITY.
9.

TO THE BEST KNOWLEDGE OF THE ENGINEER AND APPLICANT, THERE ARE NO EXISTING GRAVES OR BURIAL SITES LOCATED ON THE PROPERTY. THE SUBJECT PROPERTY IS NOT LISTED UNDER THE NATIONAL REGISTER OF HISTORIC PLACES.
10.

TO THE BEST KNOWLEDGE OF THE ENGINEER AND APPLICANT, NO HAZARDOUS OR TOXIC SUBSTANCES ARE KNOWN TO BE PRESENT ONSITE.
11.

THIS DEVELOPMENT PROPOSAL IS COMPATIBLE WITH THE EXISTING DEVELOPMENT IN THE VICINITY OF THIS SITE IN TERMS OF USE, TYPE AND INTENSITY. NO ADVERSE EFFECTS TO NEIGHBORING PROPERTIES ARE ANTICIPATED WITH THIS PROJECT.
12.

TO THE BEST KNOWLEDGE OF THE ENGINEER AND APPLICANT, THIS DEVELOPMENT PLAN CONFORMS TO ALL APPLICABLE ORDINANCES, REGULATIONS AND ADOPTED STANDARDS, UNLESS OTHERWISE SPECIFICALLY NOTED.
13.

NOTWITHSTANDING THE IMPROVEMENTS AND TABULATIONS SHOWN ON THIS PLAN, THE APPLICANT RESERVES THE RIGHT TO MAKE MODIFICATIONS TO THE FINAL DESIGN TO COMPLY WITH FINAL ENGINEERING AND NEW CRITERIA AND REGULATION WHICH MAY BE ADOPTED BY FAIRFAX CITY SUBSEQUENT TO THE SUBMISSION OF THIS APPLICATION, PROVIDED THAT SUCH MODIFICATIONS ARE SUBSTANTIALLY CONSISTENT WITH THE APPROVED DEVELOPMENT PLAN.
14.

THE PROPOSED LAYOUT INCLUDING BUILDING FOOTPRINTS AND SITE IMPROVEMENTS SHOWN HEREIN ARE PRELIMINARY. THE PROPOSED LAYOUT MAY BE SUBJECT TO REVISIONS AT THE TIME OF SITE PLAN PREPARATION, SUBJECT TO MARKET CONDITIONS, BUT SUBSTANTIALLY CONSISTENT WITH THE APPROVED DEVELOPMENT PLAN.
15.

ALL EXISTING UTILITY EASEMENTS HAVING A WIDTH GREATER THAN 25 FEET ARE SHOWN ON THE EXISTING CONDITIONS PLAN.
16.

SITE LIGHTING WITHIN THE PROJECT SITE AREA (I.E. ALONG SIDEWALKS AND PATHWAYS) WILL BE DETERMINED DURING FINAL SITE PLAN REVIEW AND SHALL BE IN GENERAL CONFORMANCE WITH SECTION 4.8 OF THE ZONING ORDINANCE.
17.

ONSITE STORM WATER MANAGEMENT AND BEST MANAGEMENT PRACTICES (BMPs) SHALL BE PROVIDED AS REQUIRED BY CITY ENGINEER AT THE TIME OF FINAL SITE PLAN.
18.

ALL SIGNAGE SHALL BE IN CONFORMANCE WITH THE SIGNAGE ORDINANCE. STRIP AND STREET TREES ALONG ALL PRIVATE ALLEYSWAYS.
19.

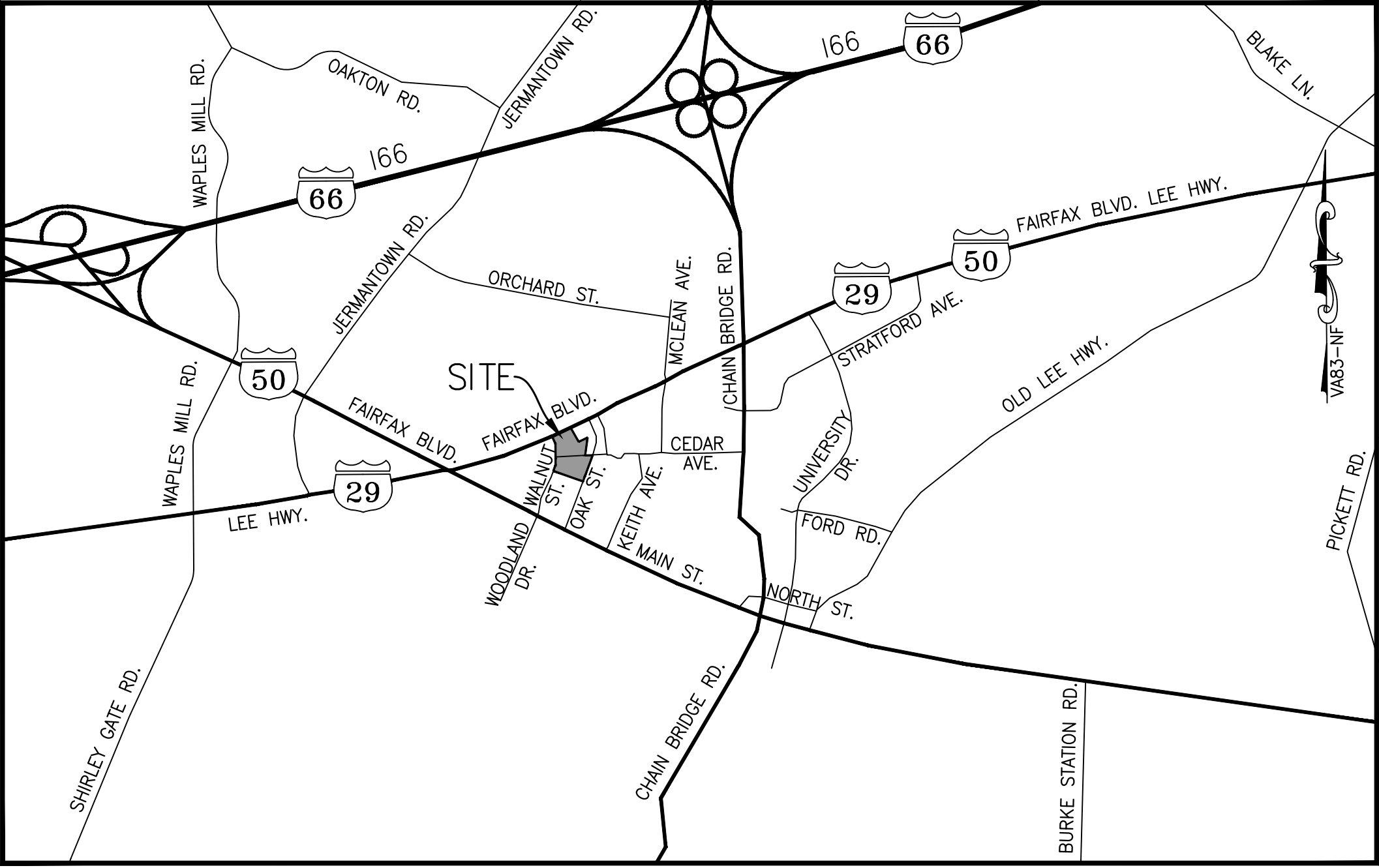
MODIFICATIONS AND WAIVERS FOR THE FAIRFAX DEVELOPMENT PLAN ORDINANCES SHALL BE FOR THE OWNER'S USE ONLY.

2. MODIFICATIONS AND WAIVERS FOR THE FAIRFAX DEVELOPMENT PLAN ORDINANCES SHALL BE FOR THE OWNER'S USE ONLY.

3. A MODIFICATION OF SECTION 4.4.4.A.1 OF THE ZONING ORDINANCE FOR SIDEWALKS REQUIRED ON BOTH SIDES ALONG ALL STREETS AND PRIVATE ALLEYSWAYS. THE APPLICANT PROPOSES SIDEWALKS AS SHOWN.

4. A MODIFICATION OF SECTION 3.5.1.C.2 OF THE ZONING ORDINANCE THAT REQUIRES THAT NO MORE THAN ONE OF ANY THREE TO FIVE, ABUTTING DWELLING UNITS HAVE THE SAME FRONT YARD SETBACK.

5. WAIVER OF SECTION 2.4.1 OF THE FAIRFAX PFM TO ALLOW FOR PRIVATE ACCESS WAYS TO HAVE A HORIZONTAL RADII OF LESS THAN 175 FEET.



VICINITY MAP
SCALE: 1"=2,000'

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EXTERIOR ELEVATIONS
23.

EXTERIOR ELEVATIONS
24.

EXTERIOR ELEVATIONS
25.

EXTERIOR ELEVATIONS
26.

BUILDING SECTIONS



PROPERTY OWNER

ROBERT PIERCE
3613 PROSPERITY AVE
FAIRFAX, VA 22031

APPLICANT

PULTE HOME COMPANY LLC
9302 LEE HIGHWAY, SUITE 1000
FAIRFAX, VIRGINIA 22031
PHONE: 703.251.0245
CONTACT: DAVID DEMARCO



CIVIL ENGINEER

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PHONE: 703-430-7500
CONTACT: GREG WHITE



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CONTACT: AMIE EVANS



TRAFFIC ENGINEER

WELLS + ASSOCIATES
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TYSONS, VA 22102
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CONTACT: WILLIAM ZEID
CHRIS TURNBULL



ATTORNEY

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SUBMISSION		REVISION	
NO.	DATE	NO.	DESCRIPTION
1	8/6/2018	1	6/6/2019 ADDRESS CITY COMMENTS
2	4/7/2019	2	9/18/2019 ADDRESS CITY COMMENTS
3	6/7/2019	3	9/18/2019 ADDRESS CITY COMMENTS
4	9/14/2020	4	9/14/2020 ADDRESS CITY COMMENTS
5	9/14/2020	5	9/14/2020 ADDRESS CITY COMMENTS
6	9/14/2020	6	9/14/2020 ADDRESS CITY COMMENTS

COMMONWEALTH OF VIRGINIA

JASON TURNER KACAMBARAS

Lic. No. 0402042416

9/23/2020

PROFESSIONAL SEAL

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HERNDON - LARGO - BALTIMORE

BLACKSHEEP NEWS

RALEIGH - RICHMOND

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ATCS

COVER SHEET

RT. 50 BREEZEWAY

MASTER DEVELOPMENT PLAN

LOCATION

FAIRFAX CITY, VIRGINIA

AUTHOR:

ZME

CHECK:

MG

PROJ.#:

001271

DATE:

9/14/2020

SCALE:

AS SHOWN

SHEET: 1 of 26



EXISTING UTILITY AS-BUILT INFORMATION	
STORM SEWER ASBUILTS	SANITARY SEWER ASBUILTS
1 TOP=390.31 FULL OF DEBRIS 15" RCP OUT APPROX - 388.3	1 TOP=388.51 4"DIP IN(2)=381.79 8"DIP IN(7)=380.71 8"DIP OUT=380.66
2 TOP=388.55 18"RCP OUT 385.20	2 TOP=391.02 4"DIP IN(NORTH)=387.01 4"DIP OUT=387.01
3 TOP=388.01 15"RCP OUT=384.89	3 TOP=381.98 8"DIP IN(1)=376.78 8"DIP IN(4)=376.96 8"DIP OUT=376.68
4 TOP=389.23 18"RCP IN(2)=384.24 15"RCP IN(3)=384.42 21"RCP OUT=384.12	4 TOP=382.09 8"DIP IN(10)=378.12 8"DIP OUT=377.09 (MAY BE BELLY IN PIPE LEADING TO 3)
5 TOP=388.52 33"RCP IN(3)=380.17 33"RCP OUT=378.89	5 TOP=381.54 8"DIP IN=374.65 8"DIP OUT=374.59
6 TOP=389.92 18"CMP IN(SW)=386.38 18"CMP OUT=386.30	6 TOP=378.88 8"DIP IN(5)=372.63 8"DIP IN(7)=374.85 8"DIP OUT=374.59
7 TOP=390.58 18"RCP IN(8)=386.26 18"RCP OUT=386.43	7 TOP=379.45 8"DIP IN(3)=374.85 8"DIP IN(8)=374.85 8"DIP OUT=374.59
8 TOP=396.26 15"RCP IN(SE)=392.04 15"RCP IN(SW)=392.04 18"RCP OUT=392.02	8 TOP=380.64 8"DIP IN(9)=373.69 8"DIP OUT=373.67
9 TOP=389.42 18"RCP IN(7)=384.48 15"RCP IN(10)=384.56 18"RCP OUT=384.45	9 TOP=388.64 8"DIP IN(SOUTH)=382.21 8"DIP IN(WEST)=382.14 8"DIP OUT=381.99
10 TOP=389.32 15"RCP OUT=384.55	10 TOP=384.38 8"DIP IN(SW)=380.05 8"DIP IN(NE)=380.08 8"DIP OUT=379.94
11 TOP=388.29 18"RCP IN(9)=383.79 18"RCP OUT=382.95	11 TOP=390.75 6"DIP? IN(NW)=380.05 8"DIP IN(NE)=380.08 8"DIP OUT=379.94
12 TOP=389.05 18"CMP IN(6)=384.83 18"CMP OUT=383.73	
13 TOP=385.42 15"RCP OUT=379.94	
14 TOP=384.39 15"RCP IN(13)=379.71 15"RCP OUT=379.62	
15 TOP=384.06 15"RCP IN(4)=379.59 18"RCP IN(9)=379.39 18"RCP OUT=376.52	
16 TOP=381.29 21"RCP IN=378.20 21"RCP OUT=377.71	
17 TOP=378.39 24"RCP IN(30)=374.49 24"RCP OUT=374.44	
18 TOP=378.36 15"RCP OUT=376.14	
19 TOP=378.27 24"RCP IN(17)=374.34 24"RCP IN(25)=374.32 15"RCP IN(20)=374.25 48"RCP OUT=368.18	
20 TOP=378.50 15"RCP OUT=374.50	
21 TOP=378.47 42"RCP IN(28)=368.51 42"RCP OUT(29)=368.45	
22 TOP=378.12 17"X25"CMP IN(18)=374.32 24"RCP OUT=372.83	
23 TOP=377.84 24"RCP IN(22)=372.84 15"RCP IN(24)=373.75 24"RCP OUT=372.88	
24 TOP=378.06 15"RCP OUT=373.78	
25 TOP=379.24 21"RCP IN(16)=375.43 15"RCP IN=375.95 24"RCP OUT=375.30	
26 TOP=385.74 17"X24"CMP IN(12)=382.42 33"RCP IN=376.40 36"RCP OUT=376.12	
27 TOP=385.33 21"RCP IN=380.22 21"RCP OUT=380.25	
28 TOP=384.09 36"RCP IN=375.58 18"RCP IN=375.64 42"RCP OUT=373.08	
29 TOP=378.28 48"RCP IN(9)=377.90 48"RCP OUT=367.75	
30 TOP=378.67 24"RCP OUT=374.91	

LEGEND	
	ELECTRIC GUY POLE
	WATER METER
	OVERHANG
	CHIMNEY
	WOOD FENCE
	CHAIN LINK FENCE
	RETAINING WALL
	EDGE OF PAVEMENT
	LIGHT POLE
	HVAC UNIT
	TELEPHONE PEDESTAL
	SATELLITE DISH
	SANITARY MANHOLE
	DRAINAGE MANHOLE
	SIGN
	FIRE HYDRANT
	TRAFFIC SIGNAL POLE
	TRAFFIC CONTROL HANDHOLE
	IRON PIPE FOUND
	IRON PIPE SET
	POWER POLE
	PARKING BLOCK
	GAS VALVE
	CLEAN OUT
	WATER METER
	HANDICAPPED RAMP
	GUY WIRE
	UNDE. GAS
	CABLE TELEVISION
	OVERHEAD ELEC.
	FENCE
	SIDEWALK
	BUILDING LINE DB E-12 PG 398
	ROAD CENTERLINE
	ADJACENT PROPERTY LINE
	EX. OVERHEAD ELECTRIC
	EX. CURB
	EX. EDGE OF PAVEMENT
	EX. MINOR CONTOUR
	EX. MAJOR CONTOUR
	PROPERTY BOUNDARY
	EX. SANITARY SEWER LINE
	EX. STORM SEWER LINE
	EX. WATER LINE
	TO BE DEMOLISHED

REVISION

NO.	DATE	DESCRIPTION
1	8/6/2018	ADDRESS CITY COMMENTS
2	4/7/2019	ADDRESS CITY COMMENTS
3	6/7/2019	
4	9/4/2020	
5		

SUBMISSION

NO.	DATE	DESCRIPTION
1	8/6/2018	
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4	9/4/2020	
5		

COMMONWEALTH OF VIRGINIA

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BLAUGHER - RICHMOND

RALEIGH - RICHMOND

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EXISTING CONDITIONS PLAN

RT. 50 BREEZEWAY

MASTER DEVELOPMENT PLAN

LOCATION

FAIRFAX CITY, VIRGINIA

AUTHOR: ZME

CHECK: MG

PROJ.#: 001271

DATE: 9/14/2020

SCALE: 1"=50'

SHEET: 2 of 26



NOTES
1. SEE SHEET 4 FOR TREE INVENTORY/PRESERVATION SCHEDULE.

LEGEND

EXISTING DECIDUOUS TREE

EXISTING CONIFEROUS TREE

REVISION

NO.	DATE	DESCRIPTION
1	6/6/2018	ADDRESS CITY COMMENTS
2	4/7/2019	ADDRESS CITY COMMENTS
3	6/7/2019	ADDRESS CITY COMMENTS
4	9/4/2020	ADDRESS CITY COMMENTS
5		ADDRESS CITY COMMENTS

SUBMISSION

NO.	DATE	DESCRIPTION
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COMMONWEALTH OF VIRGINIA

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TREE PRESERVATION PLAN

RT. 50 BREEZEWAY

MASTER DEVELOPMENT PLAN

FAIRFAX CITY, VIRGINIA

AUTHOR: ZME

CHECK: MG

PROJ.#: 001271

DATE: 9/14/2020

SCALE: 1"=30'

SHEET: 3

of 26

TREE INVENTORY/PRESERVATION SCHEDULE

TAG #	SPECIES	SIZE	**TRZ	***CONDITION	REMOVE -OR- REMAIN	COMMENTS
		*DBH (IN.)	D (FT.)	%		
1	JAPANESE MAPLE	14	28	40	REMOVE	
2	KOREAN DOGWOOD	2	4	70	REMOVE	
3	RED MAPLE	14	28	75	REMOVE	
4	RED MAPLE	14	28	75	REMOVE	
5	RED MAPLE	14	28	75	REMOVE	
6	JAPANESE MAPLE	6	12	35	REMOVE	
7	JAPANESE MAPLE	6	12	35	REMOVE	
8	KOREAN DOGWOOD	4	8	55	REMOVE	
9	LEYLAND CYPRESS	6	12	60	REMOVE	
10	LEYLAND CYPRESS	6	12	60	REMOVE	
11	LEYLAND CYPRESS	6	12	60	REMOVE	
12	LEYLAND CYPRESS	6	12	60	REMOVE	
13	LEYLAND CYPRESS	6	12	60	REMOVE	
14	LEYLAND CYPRESS	6	12	60	REMOVE	
15	LEYLAND CYPRESS	6	12	60	REMOVE	
16	LEYLAND CYPRESS	6	12	60	REMOVE	
17	LEYLAND CYPRESS	6	12	60	REMOVE	
18	LEYLAND CYPRESS	6	12	60	REMOVE	
19	LEYLAND CYPRESS	6	12	60	REMOVE	
20	LEYLAND CYPRESS	6	12	60	REMOVE	
21	LEYLAND CYPRESS	6	12	60	REMOVE	
22	LEYLAND CYPRESS	6	12	60	REMOVE	
23	LEYLAND CYPRESS	6	12	60	REMOVE	
24	LEYLAND CYPRESS	6	12	60	REMOVE	
25	LEYLAND CYPRESS	6	12	60	REMOVE	
26	EASTERN RED CEDAR	8,6	16	60	REMOVE	
27	EASTERN RED CEDAR	8	16	60	REMOVE	
28	EASTERN RED CEDAR	8	16	60	REMOVE	
29	EASTERN RED CEDAR	6,4	12	60	REMOVE	
30	EASTERN RED CEDAR	6	12	60	REMOVE	
31	BLACK LOCUST	8	16	60	REMOVE	
32	EASTERN RED CEDAR	6,4	12	45	REMOVE	
33	EASTERN RED CEDAR	14	28	65	REMOVE	
34	EASTERN RED CEDAR	4	8	65	REMOVE	
35	EASTERN RED CEDAR	14	28	65	REMOVE	
36	EASTERN RED CEDAR	8,6	16	65	REMOVE	
37	WHITE MULBERRY	12	24	65	REMOVE	
38	LEYLAND CYPRESS	8	16	45	REMOVE	
39	LEYLAND CYPRESS	8	16	45	REMOVE	
40	LEYLAND CYPRESS	8	16	45	REMOVE	
41	LEYLAND CYPRESS	8	16	45	REMOVE	
42	RED MAPLE	4,4	8	65	REMOVE	
43	LEYLAND CYPRESS	12	24	45	REMOVE	
44	LEYLAND CYPRESS	12	24	45	REMOVE	
45	LEYLAND CYPRESS	12	24	45	REMOVE	
46	LEYLAND CYPRESS	12	24	45	REMOVE	
47	LEYLAND CYPRESS	12	24	45	REMOVE	
48	LEYLAND CYPRESS	12	24	45	REMOVE	
49	LEYLAND CYPRESS	12	24	45	REMOVE	
50	LEYLAND CYPRESS	12	24	45	REMOVE	
51	LEYLAND CYPRESS	12	24	45	REMOVE	
52	LEYLAND CYPRESS	12	24	45	REMOVE	
53	LEYLAND CYPRESS	12	24	45	REMOVE	
54	WHITE ASH	38	76	25	REMAIN	OFF SITE
55	SASSAFRAS	5,5	10	25	REMAIN	OFF SITE
56	WHITE MULBERRY	8	16	75	REMOVE	
57	WHITE MULBERRY	5,4,5	10	75	REMAIN	OFF SITE
58	WHITE MULBERRY	5,4,5	10	75	REMAIN	OFF SITE
59	RED MAPLE	32	64	65	REMOVE	
60	SILVER MAPLE	23	46	25	REMAIN	

INVENTORY DATA COLLECTED BY DONALD E. ZMAR, CERTIFIED ARBORIST MA-0039, RCA #446
**DBH = DIAMETER AT BREAST HEIGHT (MEASURED 4.5 FEET ABOVE GROUND)
**TRZ = TYPICAL ROOT ZONE (1 FOOT OF RADIUS PER INCH OF TREE DIAMETER)
***CONDITION RATINGS PROVIDED AS PERCENTAGES BASED ON METHODS OUTLINED IN THE LATEST EDITION OF THE GUIDE FOR PLANT APPRAISAL, PUBLISHED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE
TRZ FOR TREES WITH MULTIPLE STEMS WERE CALCULATED BASED ON THE DIAMETER OF A TREE WITH THE BASAL AREA EQUIVALENT TO SUM OF THE BASAL AREAS FOR ALL STEMS MEASURED
CABLE = # IS NUMBER OF RECOMMENDED CABLES. FINAL DETERMINATION TO ARBORIST DOING WORK.
H= HAND REMOVAL
C = CROWN CLEANING BY PRUNING DEAD, DISEASED, DETACHED, AND BROKEN BRANCHES 2 INCHES IN DIAMETER AND LARGER AS CLOSE TO THE POINT OF ORIGIN POSSIBLE WITHOUT CUTTING INTO BRANCH COLLAR TISSUE.

TAG #	SPECIES	SIZE	**TRZ	***CONDITION	REMOVE -OR- REMAIN	COMMENTS
		*DBH (IN.)	D (FT.)	%		
61	EASTERN RED CEDAR	15	30	40	REMOVE	
62	CHERRY SPECIES	10	20	75	REMAIN	OFF SITE
63	PIN OAK	32	64	75	REMAIN	OFF SITE
64	CHERRY SPECIES	10	20	75	REMAIN	OFF SITE
65	LEYLAND CYPRESS	16	32	75	REMAIN	
66	SILVER MAPLE	42	84	75	REMOVE	
67	NORWAY SPRUCE	20	40	70	REMOVE	
68	WHITE ASH	20	40	25	REMAIN	OFF SITE
69	RED MAPLE	12	24	65	REMAIN	OFF SITE
70	TULIP TREE	38	76	65	REMAIN	OFF SITE
71	BLACK CHERRY	18	36	65	REMAIN	OFF SITE
72	RED MAPLE	24	48	65	REMAIN	OFF SITE
73	TULIP TREE	26	52	65	REMAIN	OFF SITE
74	RED MAPLE	40	80	65	REMAIN	
75	WHITE MULBERRY	24	48	65	REMOVE	
76	AMERICAN HOLLY	14	28	65	REMOVE	
77	AMERICAN HOLLY	16	32	65	REMOVE	
78	TULIP TREE	16	32	65	REMAIN	OFF SITE
79	TULIP TREE	14	28	65	REMOVE	
80	WHITE MULBERRY	8	16	65	REMOVE	
81	RED MAPLE	24	48	65	REMOVE	
82	EASTERN COTTONWOOD	26	52	65	REMOVE	
83	WHITE MULBERRY	8	16	40	REMOVE	
84	RED MAPLE	24	48	80	REMOVE	
85	NORWAY SPRUCE	22	44	65	REMOVE	
86	RED MAPLE	22	44	80	REMAIN	
87	HOLLY SPECIES	8,6	16	80	REMOVE	
88	HOLLY SPECIES	8,6	16	80	REMOVE	
89	RED MAPLE	26	52	80	REMAIN	
90	BLACK WALNUT	6,6	12	60	REMOVE	
91	RED MAPLE	26	52	60	REMAIN	
92	RED MAPLE	26	52	40	REMAIN	
93	WHITE MULBERRY	8,6,4	16	40	REMOVE	
94	WHITE ASH	5	10	40	REMOVE	
95	EASTERN WHITE PINE	15	30	50	REMOVE	
96	EASTERN WHITE PINE	10	20	50	REMOVE	
97	EASTERN WHITE PINE	14	28	50	REMOVE	
98	EASTERN WHITE PINE	8	16	25	REMOVE	
99	EASTERN RED CEDAR	4	8	25	REMOVE	
100	RED MAPLE	46	92	75	REMOVE	
601	RED MAPLE	5	10	55	REMOVE	
602	CALLERY PEAR	16	32	30	REMOVE	
603	RED MAPLE	8	16	75	REMOVE	
604	CHERRY SPECIES	5	10	40	REMOVE	
605	AMERICAN HOLLY	5	10	40	REMOVE	
606	BOXELDER	5	10	40	REMOVE	
607	BOXELDER	5	10	40	REMOVE	
608	SILVER MAPLE	48	96	40	REMOVE	
609	SILVER MAPLE	5	10	25	REMOVE	
610	RED MAPLE	30	60	40	REMOVE	
611	FLOWERING DOGWOOD	6	12	50	REMOVE	
612	SILVER MAPLE	44	88	40	REMOVE	
613	SILVER MAPLE	54	108	40	REMAIN	
614	SILVER MAPLE	36	72	40	REMAIN	OFF SITE
615	SILVER MAPLE	36	72	40	REMAIN	OFF SITE
616	SILVER MAPLE	42	84	40	REMOVE	
617	SILVER MAPLE	34	68	40	REMAIN	OFF SITE
618	RED MAPLE	26,20	52	60	REMAIN	OFF SITE
619	RIVER BIRCH	5,4	10	60	REMAIN	OFF SITE
620	BOXELDER	6	12	60	REMAIN	OFF SITE
621	BOXELDER	6	12	60	REMAIN	OFF SITE
622	BOXELDER	6	12	60	REMAIN	OFF SITE

TAG #	SPECIES	SIZE	**TRZ	***CONDITION	REMOVE -OR- REMAIN	COMMENTS
		*DBH (IN.)	D (FT.)	%		
623	BLACK CHERRY	8	16	60	REMAIN	OFF SITE
624	RED MAPLE	23	46	80	REMAIN	OFF SITE
625	COMMON PEAR	8	16	30	REMOVE	
626	NORWAY MAPLE	5	10	30	REMOVE	OFF SITE
627	NORWAY MAPLE	5	10	30	REMOVE	
628	RED MAPLE	38	76	40	REMOVE	
629	WHITE MULBERRY	14	28	40	REMAIN	OFF SITE
630	PITCH PINE	24	48	55	REMAIN	
631	PIN OAK	30	60	25	REMOVE	
632	EASTERN RED CEDAR	14	28	70	REMAIN	OFF SITE
633	EASTERN RED CEDAR	14	28	70	REMAIN	OFF SITE
634	BOXELDER	8	16	70	REMAIN	OFF SITE
635	RED MAPLE	8	16	70	REMAIN	OFF SITE
636	RED MAPLE	18,18	36	70	REMAIN	OFF SITE
637	RED MAPLE	8	16	70	REMAIN	OFF SITE
638	RED MAPLE	10,4,4	20	70	REMAIN	OFF SITE
639	SILVER MAPLE	16,16,16,10,12	32	50	REMAIN	OFF SITE
640	BOXELDER	14	28	30	REMOVE	
641	BOXELDER	8	16	30	REMOVE	
642	BLACK WALNUT	18	36	75	REMOVE	
643	RED MAPLE	22,8	44	75	REMOVE	
644	WHITE MULBERRY	6,6	12	50	REMOVE	
645	RED MAPLE	18	36	70	REMOVE	
646	WHITE MULBERRY	10,10	20	70	REMOVE	
647	WHITE MULBERRY	10,10	20	70	REMOVE	
648	EASTERN WHITE PINE	20	40	25	REMOVE	
649	EASTERN WHITE PINE	20	40	25	REMOVE	
650	EASTERN WHITE PINE	22	44	60	REMOVE	
651	EASTERN WHITE PINE	22	44	60	REMAIN	
652	EASTERN WHITE PINE	22	44	60	REMOVE	
653	WHITE MULBERRY	6	12	60	REMOVE	
654	RED MAPLE	30	60	60	REMOVE	
655	RED MAPLE	38	76	60	REMOVE	
656	RED MAPLE	22	44	60	REMOVE	
657	BLACK CHERRY	6	12	40	REMOVE	
658	BOXELDER	6	12	40	REMOVE	
659	COMMON PERSIMMON	12	24	40	REMOVE	
660	COMMON PERSIMMON	5	10	70	REMOVE	



SITE ZONING REQUIREMENTS & TABULATIONS

REQUIREMENTS OF PD-R DISTRICT

AREA: 2 ACRES MINIMUM

RECREATION & OPEN SPACE: 20% REQUIRED

PERIMETER BUFFER: 10' WIDE TRANSITIONAL YARD (TY2)

STREET TREES: MINIMUM 10' WIDE LANDSCAPE STRIP ALONG ALL STREETS

TREE CANOPY: 20% MINIMUM

BUILDING HEIGHT: NONE

PROPOSED TABULATIONS FOR DEVELOPMENT PLAN

SITE AREA:

- RESIDENTIAL AREA W/OUT R.O.W. VACATION: 4.633 AC
 - NORTH OF CEDAR: 2.302 AC
 - SOUTH OF CEDAR: 2.331 AC
- TOTAL AREA W/OUT R.O.W. VACATION: 4.633 AC
- TOTAL AREA W/ R.O.W. VACATION: 4.739 AC
- RESIDENTIAL DENSITY: 20.47 DU/AC = 97 DU/4.739 AC
- TOTAL OPEN SPACE PROVIDED: 22.9% (SEE SHEET 9 FOR OPEN SPACE PLAN)
 - 0.234 AC (10,205 SF) + 0.120 AC (5,234 SF) + 0.410 AC (17,850 SF) + 0.057 AC (2,465 SF) + 0.264 AC (11,483 SF) = 1.085 AC (47,238 SF)
 - (1.085 AC / 4.739 AC) X 100 = 22.9%
- TREE CANOPY: 20.0% = 41,295 SQ. FT. (SEE SHEET 7 FOR CANOPY TABULATIONS)
- PERIMETER BUFFER: 15' WIDE TRANSITIONAL YARD (TY3) PROVIDED ALONG BOUNDARIES WITH RESIDENTIALLY ZONED PROPERTIES AND 10' WIDE TRANSITIONAL YARD (TY2) PROVIDED ALONG BOUNDARIES WITH COMMERCIAL ZONED PROPERTIES.
- STREET TREES: 10' WIDE LANDSCAPE STRIP PROVIDED WITH 1 CANOPY TREE PER 40 LINEAR FEET ALONG ALL STREET FRONTAGES.
- BUILDING HEIGHTS: (SEE SHEETS 16-24 FOR ARCHITECTURAL BUILDING ELEVATION VIEWS)
 - TOWNHOUSES: FF ELEV. TO ROOF MIDPOINT= ±38'
 - STACKED CONDOMINIUM MULTI-FAMILY: FF ELEV. TO ROOF MIDPOINT= ±49'
 - AGE-RESTRICTED MULTI-FAMILY BUILDING: FF ELEV. TO ROOF MIDPOINT= ±56'

PARKING TABULATIONS:

PARKING TABULATIONS (PER FAIRFAX CITY ZONING ORDINANCE)				
PARKING TYPE	QUANTITY	REQUIREMENT	REQUIRED	PROVIDED
RESIDENTIAL	97 UNITS (66 MULTI-FAMILY) (31 SINGLE ATTACHED)	2 SPACES/UNIT	194	TOTAL 212 38 SURFACE 140 GARAGE 34 TANDEM
TOTAL			194	212

14 ADDITIONAL PARALLEL PARKING SPACES PROVIDED ALONG CEDAR AVENUE

PRODUCT TYPES:

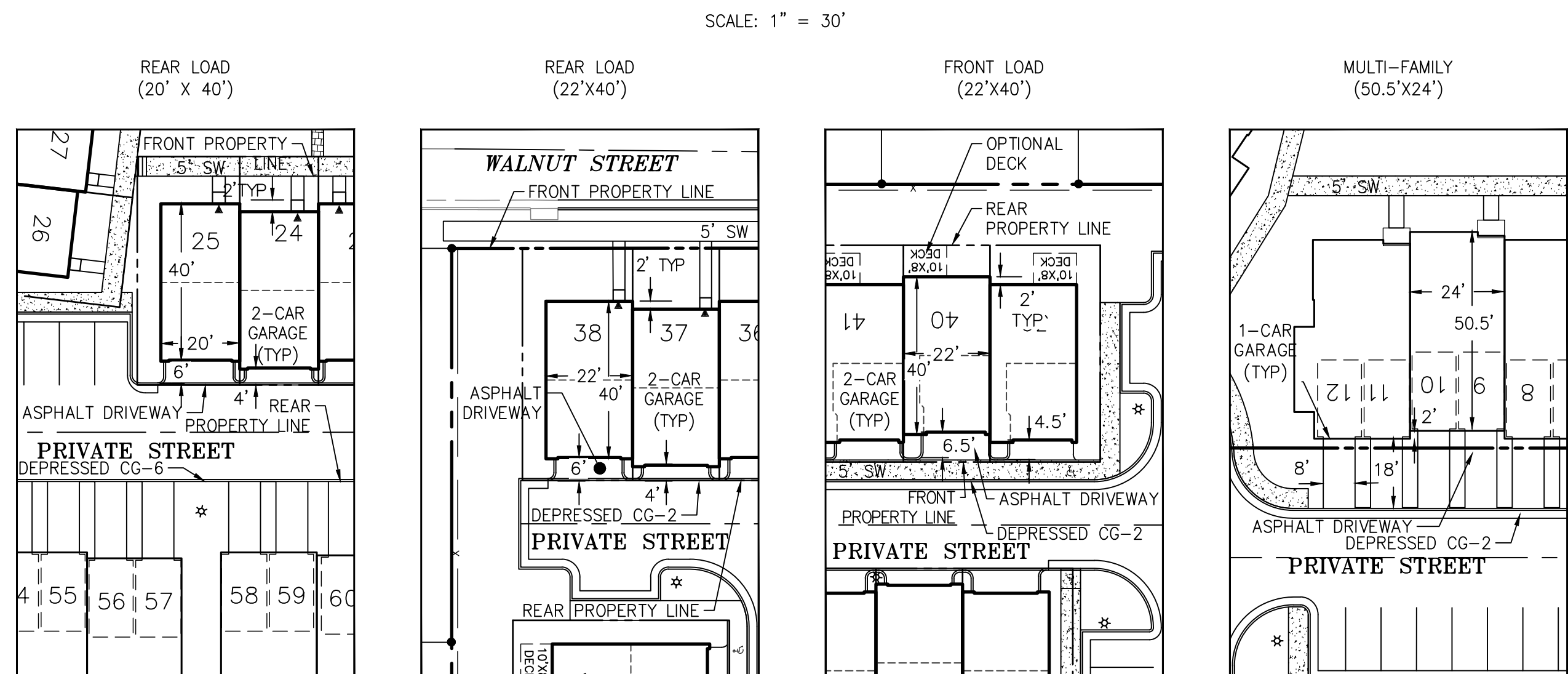
RESIDENTIAL PRODUCT TYPES	QUANTITY
TOWN HOME - REAR LOAD 20' WIDE	5
TOWN HOME - REAR LOAD 22' WIDE	13
TOWN HOME - FRONT LOAD 22' WIDE	13
STACKED CONDO - REAR LOAD 24' WIDE (2 DU / BLDG. x 10 BLDG.)	34
AGE-RESTRICTED CONDOMINIUM BUILDING	32
TOTAL	97

- NOTES**
- BICYCLE PARKING TO BE IN CONFORMANCE WITH SECTION 4.2.8 OF THE ZONING ORDINANCE. (SEE SHEET 10 FOR DETAIL)
 - HANDICAP PARKING TO BE IN CONFORMANCE WITH ADA REGULATIONS AND WILL BE FINALIZED AT THE TIME OF SITE PLAN.
 - SEE KID PLAY AREA DETAIL ON SHEET 10 FOR INFORMATION OF PROPOSED FEATURES.
 - PROPOSED UTILITIES, SIDEWALK AND TRAIL LOCATIONS SHOWN ARE PRELIMINARY AND ARE SUBJECT TO REVISIONS DURING THE TIME OF FINAL SITE PLAN.
 - SEE BUILDING SECTION EXHIBIT ON SHEET 26 FOR TRANSITION IN BUILDING HEIGHTS FROM PROPOSED TOWNHOMES (UNITS 40-52) TO THE EXISTING SINGLE-FAMILY HOMES ALONG 2ND STREET.
 - ALL PRIVATE STREETS AND ADJACENT SIDEWALKS SHOWN ON THIS SHEET SHALL BE SUBJECT TO A PUBLIC ACCESS EASEMENT.
 - ALL PRIVATE STREETS, ACCESSWAYS, TRAILS AND SIDEWALKS SHOWN ON THIS SHEET SHALL BE SUBJECT TO AN EMERGENCY VEHICLE ACCESS EASEMENT.

LEGEND

EX. SIDEWALK	PR. PLAZA
PR. SIDEWALK	PR. TRASH RECEPTACLE
ROAD CENTERLINE	PR. PEDESTRIAN LIGHT
ADJACENT PROPERTY LINE	PR. STREET LIGHT
EX. OVERHEAD ELECTRIC	PR. METAL BENCH
EX. CURB	PR. BIKE RACK
EX. EDGE OF PAVEMENT	PR. UNDERGROUND SWM FACILITY WITH ISOLATOR ROW
EX. MINOR CONTOUR	
EX. MAJOR CONTOUR	
PROPERTY BOUNDARY	
EX. SANITARY SEWER LINE	
EX. STORM SEWER LINE	
EX. WATER LINE	
PR. SANITARY SEWER LINE	
PR. STORM SEWER LINE	

TYPICAL DWELLING UNIT CONFIGURATIONS



SUBMISSION	NO.	DATE	REVISION	
			DESCRIPTION	DATE
	1	8/6/2018	ADDRESS CITY COMMENTS	
	2	4/7/2019	ADDRESS CITY COMMENTS	
	3	6/7/2019	ADDRESS CITY COMMENTS	
	4	9/4/2020	ADDRESS CITY COMMENTS	
	5		ADDRESS CITY COMMENTS	

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HERNDON - LARGO - BALTIMORE
BLACKSPRINGER - RICHMOND
WWW.ATCSPLC.COM

MASTER DEVELOPMENT PLAN

RT. 50 BREEZEWAY

MASTER DEVELOPMENT PLAN

LOCATION
FAIRFAX CITY, VIRGINIA

AUTHOR: ZME
CHECK: MG
PROJ.#: 001271
DATE: 9/15/2020
SCALE: 1"=50'

SHEET: 5 of 26



NOTES

- THIS IS A PRELIMINARY GRADING & LIMITS OF CLEARING SHOWN ON THIS PLAN IS SUBJECT TO CHANGE AT THE TIME OF FINAL SITE PLAN.
- LOCATIONS AND SIZING OF SWM/BMP FACILITIES SHOWN ARE BASED ON A PRELIMINARY STUDY TO ENSURE COMPLIANCE WITH STATE AND CITY REQUIREMENTS. THE TYPE AND LOCATIONS OF FACILITIES SHOWN IS SUBJECT TO CHANGE WITH FINAL DESIGN.

LEGEND

	EX. SIDEWALK		UGD, SWM		PR. UNDERGROUND SWM FACILITY WITH ISOLATOR ROW
	PR. SIDEWALK				
	ROAD CENTERLINE				
	ADJACENT PROPERTY LINE				
	EX. OVERHEAD ELECTRIC				
	EX. CURB				
	EX. EDGE OF PAVEMENT				
	EX. MINOR CONTOUR				
	EX. MAJOR CONTOUR				
	PR. MINOR CONTOUR				
	PR. MAJOR CONTOUR				
	PROPERTY BOUNDARY				
	EX. SANITARY SEWER LINE				
	EX. STORM SEWER LINE				
	EX. WATER LINE				
	PR. SANITARY SEWER LINE				
	PR. STORM SEWER LINE				
	LIMITS OF CLEARING				

STORMWATER MANAGEMENT (SWM) & BEST MANAGEMENT PRACTICE (BMP) NARRATIVE

SWM

WATER QUANTITY FOR THIS PROJECT WILL BE PROVIDED IN ACCORDANCE WITH STATE CODE 9VAC25-870-66-66 QUANTITY AND THE CITY OF FAIRFAX STORMWATER ORDINANCE. THIS BEING A REDEVELOPMENT, THE IMPROVEMENT FACTOR WILL BE UTILIZED TO MEET CHANNEL PROTECTIONS FOR THE 1-YEAR 24 HOUR STORM AND THE POST DEVELOPMENT 10-YEAR 24-HOUR STORM EVENT WILL BE CONFINED TO RELEASE AT A RATE LESS THAN PRE-DEVELOPED CONDITIONS TO MEET FLOOD PROTECTION.

TO MEET THESE WATER QUANTITY REQUIREMENTS, 3 UNDERGROUND DETENTION FACILITIES WILL BE UTILIZED. PRELIMINARY LOCATIONS ARE SHOWN ON THE DEVELOPMENT PLAN.

ADEQUATE OUTFALL

- THE EXISTING SITE DISCHARGES CONCENTRATED RUNOFF TO 2 OUTFALL LOCATION:
- EXISTING OUTFALL A INCLUDES MOSTLY ON-SITE SHEET FLOW FROM PROPERTIES NORTH OF CEDAR AVENUE THAT DRAINS SOUTH WEST FROM FAIRFAX BLV/WALNUT WHERE IT LEAVES THE SITE AND DRAINS SOUTH INTO THE CEDAR DRIVE STORM PIPE DRAINAGE SYSTEM THAT CONVEYS DRAINAGE WEST ALONG PANTHER PLACE THAT ULTIMATELY DISCHARGES IN A 100-YEAR FLOODPLAIN SOUTHWEST OF THE PROJECT SITE.
 - EXISTING OUTFALL B INCLUDES MOSTLY ON-SITE SHEET FLOW FROM THE SUBJECT PROPERTIES SOUTH OF CEDAR AVENUE THAT DRAINS NORTH EAST FROM WALNUT WHERE IT DRAINS INTO THE CEDAR DRIVE STORM PIPE DRAINAGE SYSTEM @ OAK STREET THAT CONVEYS DRAINAGE WEST ALONG PANTHER PLACE THAT ULTIMATELY DISCHARGES IN A 100-YEAR FLOODPLAIN SOUTHWEST OF THE PROJECT SITE.

BMP

THIS PROJECT WILL USE THE VIRGINIA RUNOFF REDUCTION METHOD (VRRM) REDEVELOPMENT TO MEET STATE, PART 11B CRITERIA (9VAC25-870-65) AND CITY WATER QUALITY DESIGN CRITERIA. THE PROJECT SITE AREA INCLUDES ALL AREA WITHIN THE PROPOSED LIMITS OF CLEARING AND GRADING. TO MEET WATER QUALITY DESIGN CRITERIA AND PHOSPHORUS REMOVAL REQUIREMENTS, A COMBINATION OF BOTH PROPRIETARY AND NON-PROPRIETARY BMP FACILITIES MAY BE USED. THESE FACILITIES MAY INCLUDE: ISOLATOR ROWS, HYDRODYNAMIC SEPARATORS, FILTERRAS, PERMEABLE PAVEMENT, & BIOTENTIONS. PRELIMINARY LOCATIONS ARE SHOWN ON THE DEVELOPMENT PLAN.

REVISION		SUBMISSION		CLIENT	
NO.	DATE	NO.	DATE	NO.	DATE
1	6/6/2019	1	6/6/2019	1	6/6/2019
2	9/18/2019	2	4/7/2018	2	4/7/2018
3	6/7/2019	3	6/7/2019	3	6/7/2019
4	9/4/2020	4	9/4/2020	4	9/4/2020
5		5		5	

COMMONWEALTH OF VIRGINIA

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9/23/2020

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BLACKSBURG - RICHMOND

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PRELIMINARY GRADING AND STORMWATER MANAGEMENT PLAN

RT. 50 BREEZEWAY

MASTER DEVELOPMENT PLAN

LOCATION

FAIRFAX CITY, VIRGINIA

AUTHOR: ZME

CHECK: MG

PROJ.#: 001271

DATE: 9/14/2020

SCALE: 1"=30'

SHEET: 6 of 26



LANDSCAPE LEGEND

- PROPOSED DECIDUOUS TREE CATEGORY IV (250 SF) - TRANSITIONAL YARD
- PROPOSED DECIDUOUS TREE CATEGORY III (150 SF) - TRANSITIONAL YARD
- PROPOSED DECIDUOUS TREE CATEGORY IV (250 SF) - STREET TREES
- PROPOSED DECIDUOUS TREE CATEGORY II (100 SF) - INTERIOR
- PROPOSED DECIDUOUS TREE CATEGORY II (100 SF) - TRANSITIONAL YARD
- PROPOSED SHRUB - TRANSITIONAL YARD
- PROPOSED UNDERSTORY TREE - ALONG FAIRFAX BOULEVARD
- PROPOSED DECIDUOUS TREE CATEGORY III (150 SF) - OPEN SPACE PARK
- PROPOSED SHRUB - OPEN SPACE PARK
- EXISTING TREE TO BE PRESERVED

LANDSCAPE TABULATIONS

STREET TREES
REQUIRED: MINIMUM 10 FOOT WIDE LANDSCAPE STRIP ALONG ALL STREETS WITH 1 CANOPY TREE PER 40 LINEAR FEET.
PROVIDED: 51 TOTAL = 46 PROPOSED CANOPY TREES & 5* EXISTING CANOPY TREES
* 5 OF THE 11 EXISTING TREES TO BE PRESERVED TO BE COUNTED TOWARDS STREET TREE REQUIREMENTS.

TRANSITIONAL YARDS
REQUIRED: PROJECT BOUNDARY TRANSITIONAL YARD TY2.
WIDTH = 10 FEET
FENCE (LOCATED ON LOT LINE) = 6 FOOT HEIGHT
PLANTINGS (PER 100 LINEAR FEET) = 3 CANOPY TREES/3 UNDERSTORY TREES/(SHRUBS NOT REQ'D)
LINEAR FEET (LF) ALONG THE EAST PROPERTY BOUNDARIES ADJACENT TO COMMERCIAL ZONED PARCELS = 357 LF/100 LF = 3.57 X 3 = 11 CANOPY TREES/ 11 UNDERSTORY TREES/ 0 SHRUBS TOTAL
PROVIDED: PROJECT BOUNDARY TRANSITIONAL YARD TY2.
WIDTH = 10 FEET
FENCE (LOCATED ON LOT LINE) = 6 FOOT HEIGHT
PLANTINGS (TOTAL) = 13 CANOPY TREES/ 12 UNDERSTORY TREES/ 11 SHRUBS

REQUIRED: PROJECT BOUNDARY TRANSITIONAL YARD TY2.
WIDTH = 10 FEET
FENCE (LOCATED ON LOT LINE) = 6 FOOT HEIGHT
PLANTINGS (PER 100 LINEAR FEET) = 3 CANOPY TREES/3 UNDERSTORY TREES/(SHRUBS NOT REQ'D)
LINEAR FEET (LF) ALONG THE EAST AND SOUTH PROPERTY BOUNDARIES ADJACENT TO RESIDENTIALLY ZONED PARCELS = 697 LF/100 LF = 6.97 X 3 = 21 CANOPY TREES/ 21 UNDERSTORY TREES/ 0 SHRUBS TOTAL
PROVIDED: PROJECT BOUNDARY TRANSITIONAL YARD TY3 (EXCEEDS REQUIRED)
WIDTH = 15 FEET
FENCE (LOCATED ON LOT LINE) = 6 FOOT HEIGHT
PLANTINGS (TOTAL) = 28 CANOPY TREES/ 29 UNDERSTORY TREES/ 29 SHRUBS

10-YEAR TREE COVER CALCULATIONS

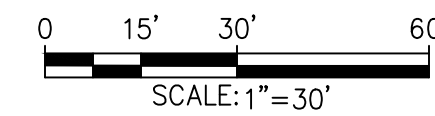
TREE COVER REQUIRED	
SITE AREA:	206,475 SF (4.74 AC)
PERCENT OF TREE COVER REQUIRED:	20%
TOTAL AREA OF TREE COVER REQUIRED:	41,295 SF
TREE COVER PROVIDED	
TRANSITIONAL YARD:	
41 - 3.5" CALIPER DECIDUOUS CATEGORY IV (250 SF - CANOPY)	10,250 SF
20 - 3.5" CALIPER DECIDUOUS CATEGORY III (150 SF - UNDERSTORY)	3,000 SF
21 - 3.5" CALIPER DECIDUOUS CATEGORY II (100 SF - UNDERSTORY)	2,100 SF
STREET TREES:	
46 - 3.5" CALIPER DECIDUOUS CATEGORY IV (250 SF - CANOPY)	11,500 SF
EXISTING TREES:	
11 - DECIDUOUS (645 SF - CANOPY)	7,095 SF
OPEN SPACE PARK AND LANDSCAPE ISLANDS:	
37 - 3.5" CALIPER DECIDUOUS CATEGORY III (150 SF - UNDERSTORY)	5,550 SF
18 - 3.5" CALIPER DECIDUOUS CATEGORY II (100 SF - UNDERSTORY)	1,800 SF
TOTAL PROPOSED TREE CANOPY:	41,295 SF (20.0%)

NOTES

- DETAILED LANDSCAPE PLANTINGS, HARDSCAPE DESIGN, & LIGHTING FOR THE PROPOSED OPEN SPACE AREAS SHOW WILL BE PROVIDED AT THE TIME OF THE FINAL SITE PLAN.
- IN THE EVENT THE EXISTING TREES DO NOT MEET THE CITY TREE COVER REQUIREMENTS ADDITIONAL TREE PLANTINGS WILL BE PROVIDED TO MEET 10-YEAR TREE COVER REQUIREMENTS.
- PRELIMINARY UTILITIES SHOWN ARE SUBJECT TO CHANGE AT THE TIME OF FINAL SITE PLAN.

LEGEND

- ROAD CENTERLINE
- ADJACENT PROPERTY LINE
- EX. OVERHEAD ELECTRIC
- EX. CURB
- EX. EDGE OF PAVEMENT
- EX. MINOR CONTOUR
- EX. MAJOR CONTOUR
- PROPERTY BOUNDARY
- EX. SANITARY SEWER LINE
- EX. STORM SEWER LINE
- EX. WATER LINE
- PR. SANITARY SEWER LINE
- PR. STORM SEWER LINE
- PR. WATER LINE



REVISION

NO.	DATE	DESCRIPTION
1	8/6/2018	6/6/2019 ADDRESS CITY COMMENTS
2	4/7/2019	9/18/2019 ADDRESS CITY COMMENTS
3	6/7/2019	-
4	9/4/2020	-
5	-	-

SUBMISSION

NO.	DATE	DESCRIPTION
1	8/6/2018	6/6/2019 ADDRESS CITY COMMENTS
2	4/7/2019	9/18/2019 ADDRESS CITY COMMENTS
3	6/7/2019	-
4	9/4/2020	-
5	-	-

COMMONWEALTH OF VIRGINIA

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LANDSCAPE PLAN

RT. 50 BREEZEWAY

MASTER DEVELOPMENT PLAN

LOCATION

FAIRFAX CITY, VIRGINIA

AUTHOR:

ZME

CHECK:

MG

PROJ.#:

001271

DATE:

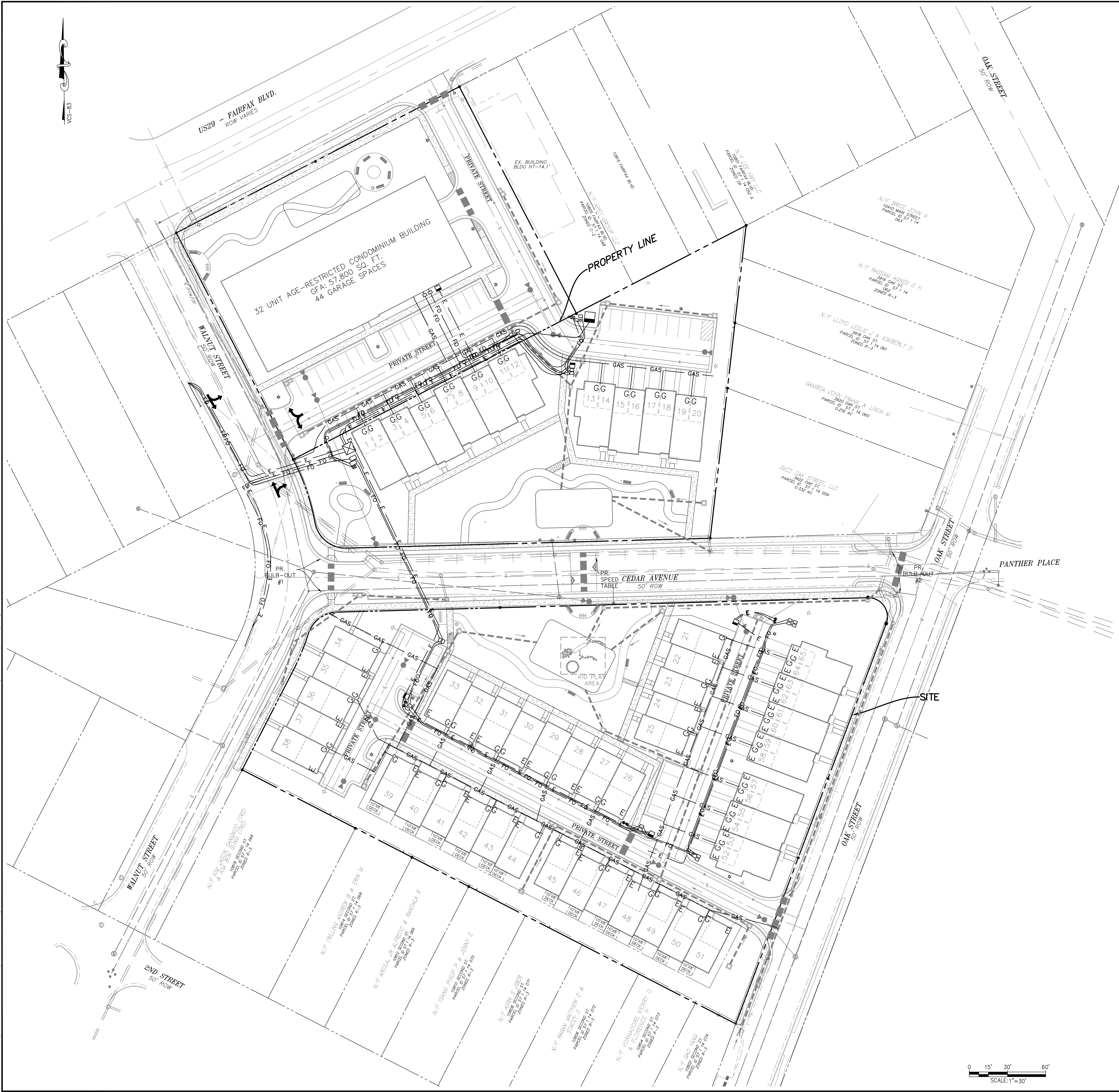
9/14/2020

SCALE:

1"=30'

SHEET: 7 of 26

FILE PATH: S:\Projects\001271_Breezeway_Moisture\Design\Sheets\0271-REZONING MASTER DEVELOPMENT PLAN\001271 -Breezeway -8 - Dry Utility.dwg PLOT DATE: 9/23/2020 2:14:00 PM BY: RAN SHRESTHA



NOTES

1. PRELIMINARY DRY UTILITIES SHOWN ARE SUBJECT TO CHANGE AT THE TIME OF FINAL SITE PLAN.

LEGEND

- | | | | |
|-----|-------------------------|---|--------------------------|
| --- | ROAD CENTERLINE | ☒ | PR. PEDESTAL |
| --- | ADJACENT PROPERTY LINE | ☒ | PR. SWITCH |
| --- | EX. OVERHEAD ELECTRIC | ☒ | PR. ELECTRIC TRANSFORMER |
| --- | EX. CURB | ☒ | PR. UTILITY HAND HOLE |
| --- | EX. EDGE OF PAVEMENT | ☒ | PR. ELECTRIC HAND HOLE |
| --- | EX. MINOR CONTOUR | ☒ | PR. FIBER OPTIC |
| --- | EX. MAJOR CONTOUR | ☒ | PR. GAS LINE |
| --- | PROPERTY BOUNDARY | ☒ | PR. ELECTRICAL LINE |
| --- | EX. SANITARY SEWER LINE | ☒ | PR. SANITARY SEWER LINE |
| --- | EX. STORM SEWER LINE | ☒ | PR. STORM SEWER LINE |
| --- | EX. WATER LINE | ☒ | PR. STORM SEWER LINE |

SUBMISSION		REVISION	
NO.	DATE	NO.	DATE
1	8/6/2018	1	6/5/2019
2	4/7/2019	2	9/18/2019
3	6/7/2019	3	6/7/2019
4	9/14/2020	4	9/14/2020
5		5	

COMMONWEALTH OF VIRGINIA

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DRY UTILITY PLAN

RT. 50 BREEZEWAY

MASTER DEVELOPMENT PLAN

LOCATION

FAIRFAX CITY, VIRGINIA

AUTHOR: ZME

CHECK: MG

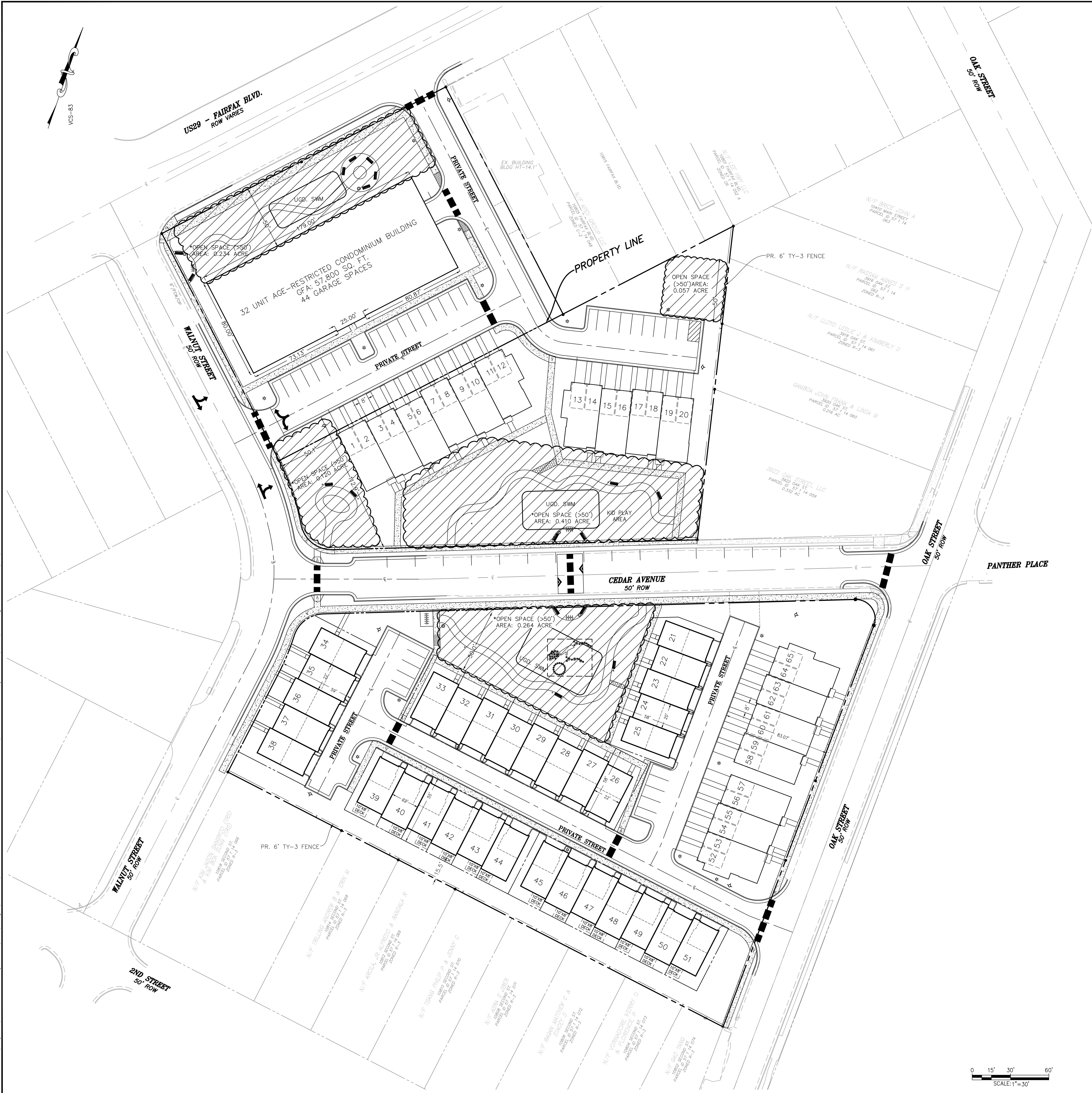
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DATE: 9/14/2020

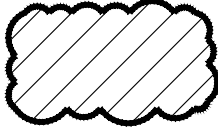
SCALE: 1"=30'

SHEET: 8 of 26

FILE PATH: S:\Projects\001271_Breezeway_Motel\Civil\Design\Sheets\1271-REZONING MASTER DEVELOPMENT PLAN\001271 - Breezeway - 9 - Open_Space.dwg PLOT DATE: 9/23/2020 2:14:18 PM BY: RAVI SHRESTHA



LEGEND



OPEN SPACE GREATER THAN OR EQUAL TO 50 FEET WIDE

OPEN SPACE REQUIREMENT & TABULATIONS

TOTAL RESIDENTIAL SITE AREA: 4.739 ACRES OR 206,431 SQ. FT. (W/OUT R.O.W. DEDICATION)	REQUIRED	PROVIDED
OPEN SPACE >= 50 FEET WIDE	20%	22.9%

NOTES

- OPEN SPACE IS REQUIRED PER 3.8.2.G. AS 20 PERCENT OF THE PLANNED DEVELOPMENT. THE QUALIFIED OPEN SPACE SHALL CONFORM TO THE REQUIREMENTS OF 3.8.7.
- SEE SHEET 15 FOR ILLUSTRATIVE POCKET PARK OPEN SPACE EXHIBIT.
- THE DESIGN AND LAYOUT OF PEDESTRIAN WALKWAYS WITHIN THE OPEN SPACE AREAS IDENTIFIED ON THIS SHEET ARE PRELIMINARY IN NATURE AND SUBJECT TO CHANGE AT THE TIME OF FINAL SITE PLAN.
- * THESE OPEN SPACE AREAS SHALL BE SUBJECT TO A PUBLIC ACCESS EASEMENT.

OPEN SPACE PLAN
RT. 50 BREEZEWAY
MASTER DEVELOPMENT PLAN
LOCATION
FAIRFAX CITY, VIRGINIA

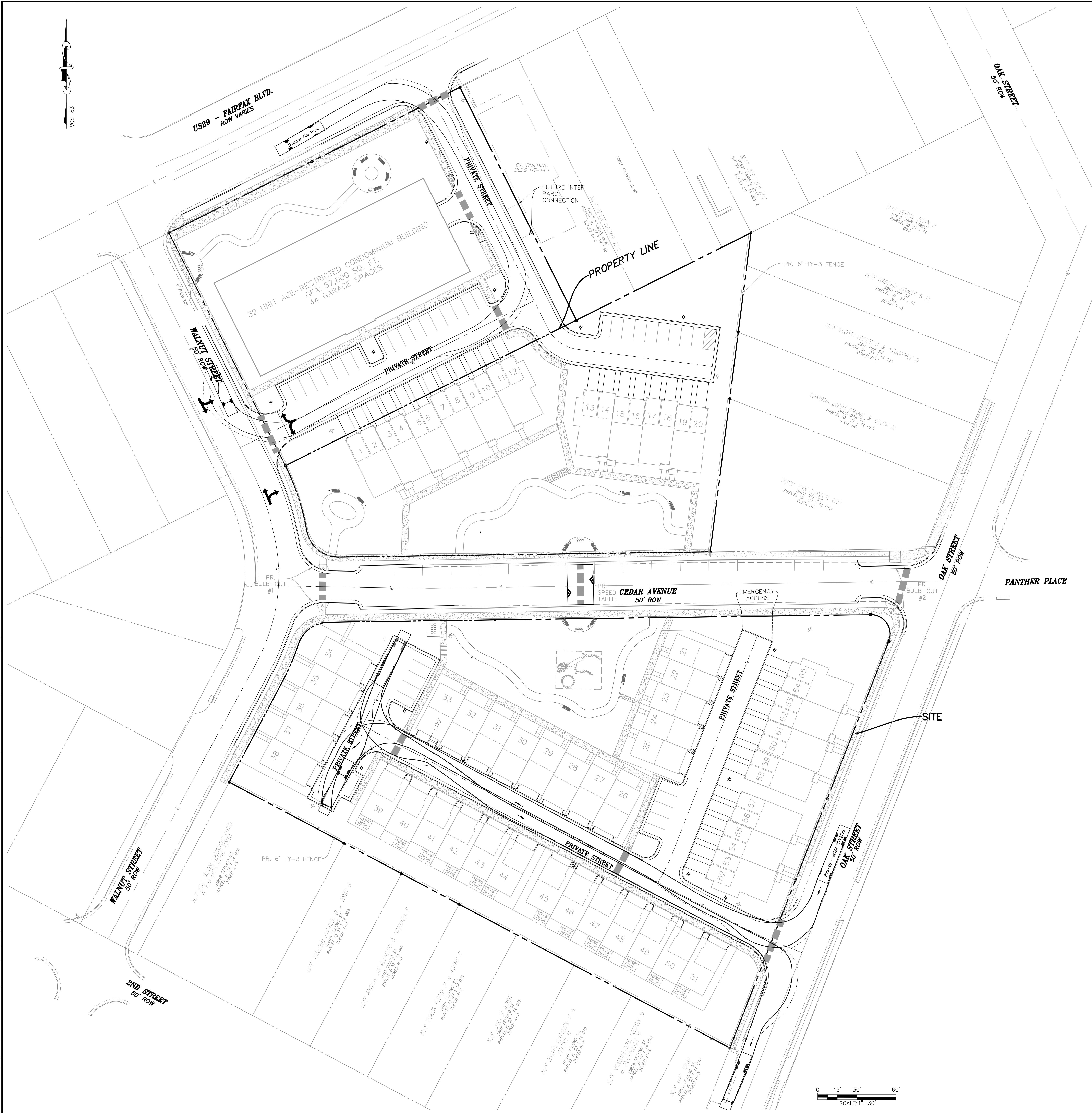
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SCALE: 1"=30'
SHEET: 9 of 26

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9/23/2020

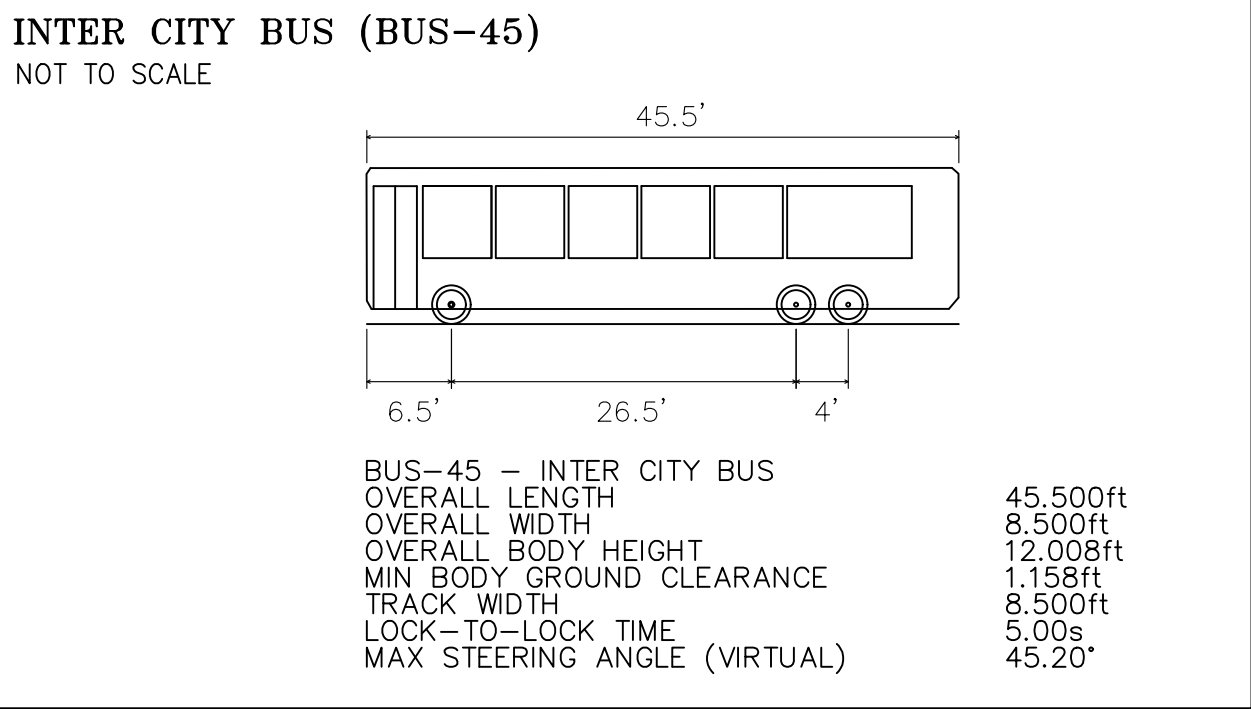
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NO. DATE DESCRIPTION
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2 9/18/2019 ADDRESS CITY COMMENTS



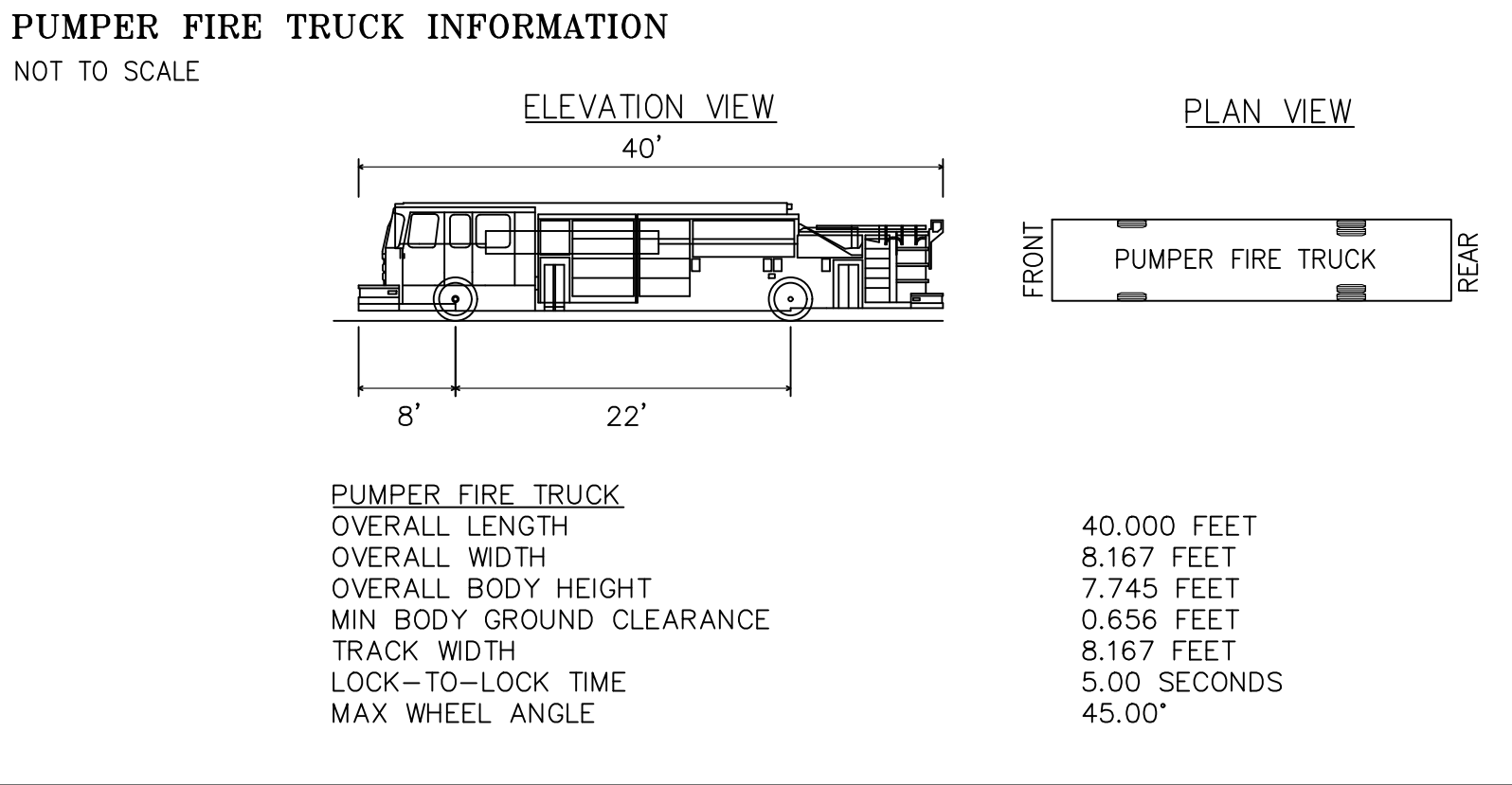
NOTES

1. THE VEHICLES USED TO PRODUCE THE TURNING MOVEMENTS SHOWN ON THIS SHEET IS THE AASHTO EQUIVALENT DESIGN VEHICLE "INTERCITY BUS (BUS-45)" AND "PUMPER FIRE TRUCK" FOR THE TYPICAL FAIRFAX CITY AERIAL PLATFORM FIRE APPARATUS.

TURNING ANALYSIS - INTER CITY BUS (BUS-45)



TURNING ANALYSIS - PUMPER FIRE TRUCK



- LEGEND**
- EX. SIDEWALK
 - PR. SIDEWALK
 - ROAD CENTERLINE
 - ADJACENT PROPERTY LINE
 - EX. OVERHEAD ELECTRIC
 - EX. CURB
 - EX. EDGE OF PAVEMENT
 - EX. MINOR CONTOUR
 - EX. MAJOR CONTOUR
 - PROPERTY BOUNDARY
 - EX. SANITARY SEWER LINE
 - EX. STORM SEWER LINE
 - EX. WATER LINE



LEGEND
PATH OF PEDESTRIAN MOVEMENTS

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PEDESTRIAN MOVEMENT PLAN
RT. 50 BREEZEWAY
MASTER DEVELOPMENT PLAN

LOCATION
FAIRFAX CITY, VIRGINIA

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SHEET: 12 of 26



LANDSCAPE LEGEND

- PROPOSED DECIDUOUS TREE CATEGORY IV (250 SF) - TRANSITIONAL YARD
- PROPOSED DECIDUOUS TREE CATEGORY III (150 SF) - TRANSITIONAL YARD
- PROPOSED DECIDUOUS TREE CATEGORY IV (250 SF) - STREET TREES
- PROPOSED DECIDUOUS TREE CATEGORY II (100 SF) - INTERIOR PARKING
- PROPOSED DECIDUOUS TREE CATEGORY II (100 SF) - TRANSITIONAL YARD
- PROPOSED SHRUB - TRANSITIONAL YARD
- PROPOSED UNDERSTORY TREE - ALONG FAIRFAX BOULEVARD
- PROPOSED DECIDUOUS TREE CATEGORY III (150 SF) - OPEN SPACE PARK
- PROPOSED SHRUB - OPEN SPACE PARK
- EXISTING TREE TO BE PRESERVED

LEGEND

- ROAD CENTERLINE
- ADJACENT PROPERTY LINE
- EX. OVERHEAD ELECTRIC
- EX. CURB
- EX. EDGE OF PAVEMENT
- PROPERTY BOUNDARY
- EX. SANITARY SEWER LINE
- EX. STORM SEWER LINE
- EX. WATER LINE

REVISION

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RT. 50 BREEZEWAY

MASTER DEVELOPMENT PLAN

LOCATION

FAIRFAX CITY, VIRGINIA

AUTHOR: ZME

CHECK: MG

PROJ. #: 001271

DATE: 9/14/2020

SCALE: 1" = 40'

SHEET: 13 of 26

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NOTES

1. LIGHTING LOCATIONS SHOWN ARE SUBJECT TO CHANGE AT TIME OF FINAL SITE PLAN.
2. PHOTOMETRIC PLAN PREPARED BY HADCO LIGHTING.
3. SEE STREET LIGHT DETAIL ON SHEET 15 FOR MORE INFORMATION.

LEGEND

☆ PR. LIGHT POST

PHOTOMETRIC PLAN
RT. 50 BREEZEWAY
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LOCATION
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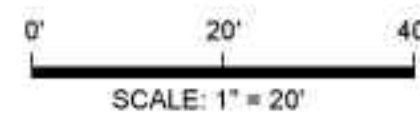
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SHEET: 14 of 26

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ROUTE 50 FAIRFAX CITY BY PULTE GROUP – POCKET PARK CONCEPT



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ILLUSTRATIVE CONCEPT FOR POCKET PARK OPEN SPACE AREA

RT. 50 BREEZEWAY

MASTER DEVELOPMENT PLAN

LOCATION

FAIRFAX CITY, VIRGINIA

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MIDPOINT
±49'

FRONT ELEVATION
2-OVER-2 (6-UNIT) BUILDING STREETSCAPE
PULTE - NORTHEAST (BREEZEWAY)



NAS FLORIDA TEXAS S-EAST N-EAST WEST MIDWEST

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EXTERIOR ELEVATIONS
RT. 50 BREEZEWAY
MASTER DEVELOPMENT PLAN
LOCATION
FAIRFAX CITY, VIRGINIA

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REAR ELEVATION
2-OVER-2 (6-UNIT) BUILDING STREETSCAPE
PULTE - NORTHEAST (BREEZEWAY)



SIDE ELEVATION
2-OVER-2 (6-UNIT) BUILDING STREETSCAPE
PULTE - NORTHEAST (BREEZEWAY)

NAS FLORIDA TEXAS S-EAST N-EAST WEST MIDWEST

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SHEET: 17 of 26

EXTERIOR ELEVATIONS
RT. 50 BREEZEWAY
MASTER DEVELOPMENT PLAN
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5	9/14/2020	5	6/7/2019 ADDRESS CITY COMMENTS



Lot #21 End Elevation




Lot #25 Lot #24 Lot #23 Lot #22 Lot #21

FRONT ELEVATION

5

20'(5 UNIT) BUILDING STREETScape
Pulte - Northeast (Breezeway)
(2463 - Frankton)

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RT. 50 BREEZEWAY
MASTER DEVELOPMENT PLAN
LOCATION
FAIRFAX CITY, VIRGINIA

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Lot #26

Lot #27

Lot #28

Lot #29

Lot #30

Lot #31

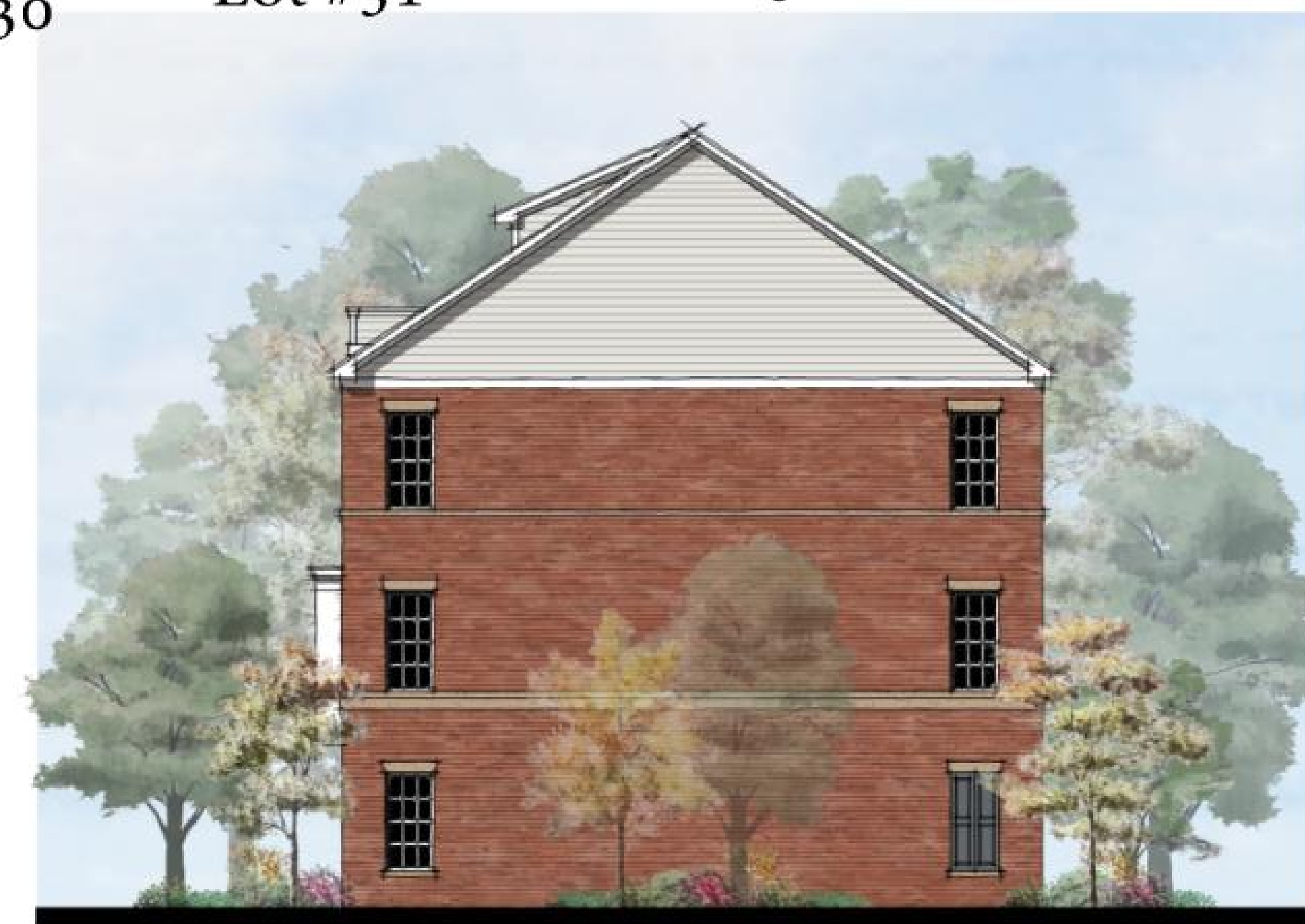
Lot #32

Lot #33

FRONT ELEVATION

22' (8 UNIT) BUILDING STREETSAPE

PULTE - NORTHEAST (BREEZEWAY)
(2466-HALSTON)



Lot #33

(END ELEVATION)



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EXTERIOR ELEVATIONS

RT. 50 BREEZEWAY

MASTER DEVELOPMENT PLAN

LOCATION

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Lot #34 Lot #35 FRONT ELEVATION Lot #37 Lot #38
 Lot #36

22' (5-UNIT) BUILDING STREETSCAPE
PULTE - NORTHEAST (BREEZEWAY)
(2406-HALSTON)



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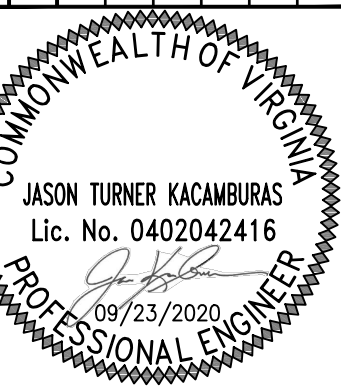
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EXTERIOR ELEVATIONS
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MASTER DEVELOPMENT PLAN
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Lot #44

Lot #43

Lot #42

Lot #41

Lot #40

Lot #39

FRONT ELEVATION

22' (6-UNIT) BUILDING STREETSCAPE
PULTE - NORTHEAST (BREEZEWAY)
(2405 - GRANITON)

SIDE ELEVATION



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EXTERIOR ELEVATIONS

RT. 50 BREEZEWAY

MASTER DEVELOPMENT PLAN

LOCATION

FAIRFAX CITY, VIRGINIA

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SHEET: 21 of 26

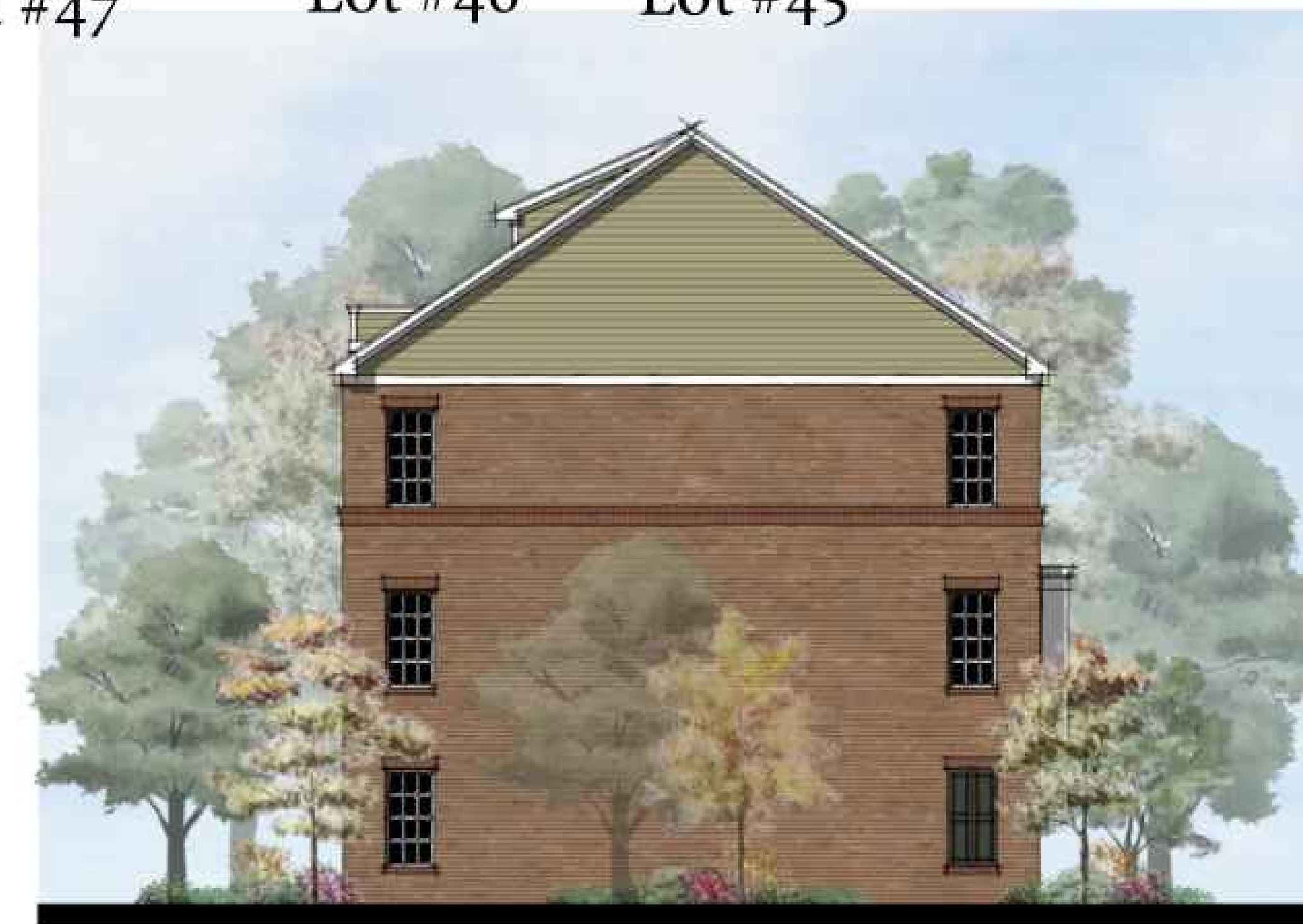
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Lot #51 Lot #50 Lot #49 Lot #48 Lot #47 Lot #46 Lot #45

FRONT ELEVATION

22'(7-UNIT) BUILDING STREETSCAPE
PULTE - NORTHEAST (BREEZEWAY)
(2465-GRANTON)



Lot #51 (END ELEVATION)



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BUILDING 1 - REAR ELEVATION

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EXTERIOR ELEVATIONS
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4	9/4/2020	4	6/7/2019 ADDRESS CITY COMMENTS
5	9/14/2020	5	6/7/2019 ADDRESS CITY COMMENTS



BUILDING 1 - LEFT ELEVATION



BUILDING 1 - RIGHT ELEVATION

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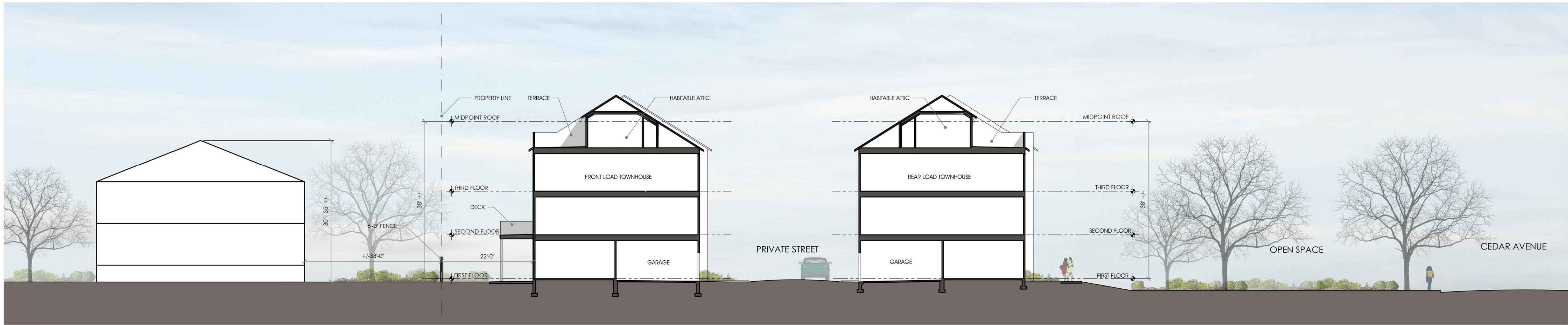
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13861 SUNRISE VALLEY DRIVE, SUITE 200
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CLIENT
PULTE HOME COMPANY LLC
9302 LEE HIGHWAY, SUITE 1000
FAIRFAX, VA 22031

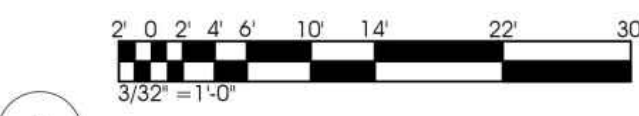
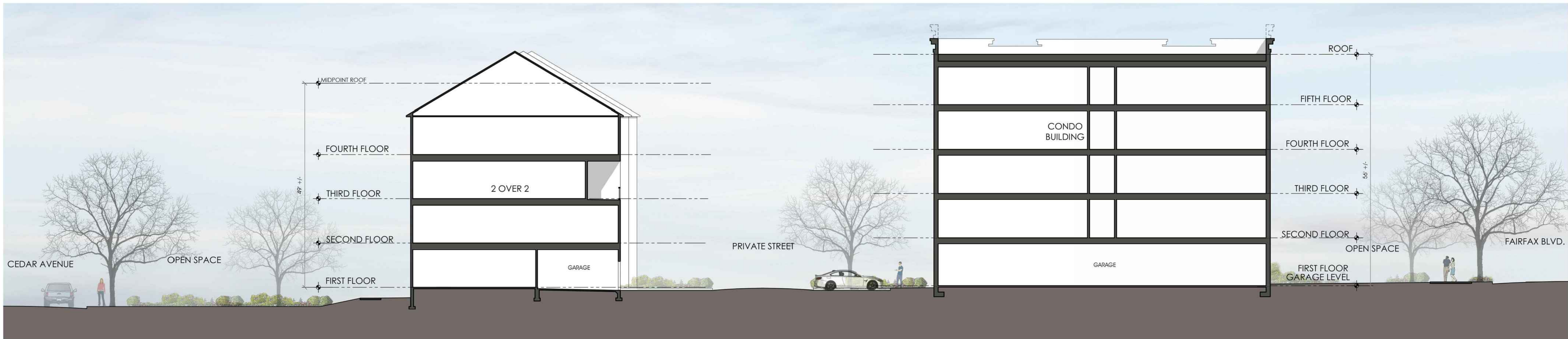


SUBMISSION		REVISION	
NO.	DATE	NO.	DESCRIPTION
1	8/6/2018	1	6/5/2019 ADDRESS CITY COMMENTS
2	4/7/2019	2	9/18/2019 ADDRESS CITY COMMENTS
3	6/7/2019	3	— / — / — ADDRESS CITY COMMENTS
4	9/14/2020	4	— / — / — ADDRESS CITY COMMENTS
5	— / — / —	5	— / — / — ADDRESS CITY COMMENTS

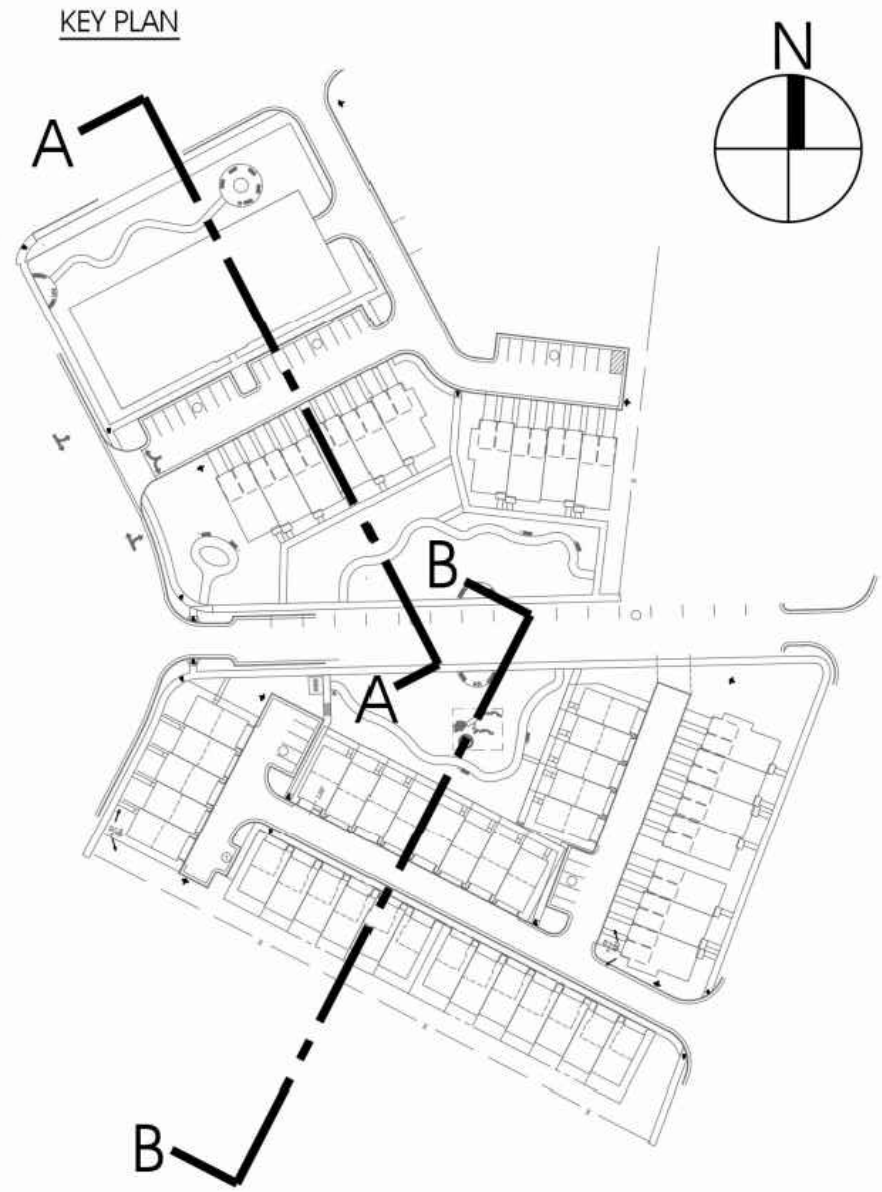
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SECTION B-B
3/32" = 1'-0"



SECTION A-A
3/32" = 1'-0"



SUBMISSION		REVISION	
NO.	DATE	NO.	DESCRIPTION
1	8/6/2018	1	6/5/2019 ADDRESS CITY COMMENTS
2	4/7/2019	2	9/18/2019 ADDRESS CITY COMMENTS
3	6/7/2019	3	6/7/2019 ADDRESS CITY COMMENTS
4	9/14/2020	4	6/7/2019 ADDRESS CITY COMMENTS
5	9/14/2020	5	6/7/2019 ADDRESS CITY COMMENTS

COMMONWEALTH OF VIRGINIA	
JASON TURNER KACAMBURAS	
Lic. No. 0402042416	
Professional Engineer	
09/23/2020	

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BLACK HILLS DEVELOPMENTS	
RALEIGH - RICHMOND	
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BUILDING SECTION	
RT. 50 BREEZEWAY	
MASTER DEVELOPMENT PLAN	
LOCATION	
FAIRFAX CITY, VIRGINIA	

AUTHOR:	ZME
CHECK:	MG
PROJ. #:	001271
DATE:	9/14/2020
SCALE:	AS SHOWN

SHEET: 26	of 26
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